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INSPECTIONS/CONSULTING/EXPERT WITNESS

Real Estate Inspection Report on Front Deck
1999 Anywhere Dr Pismo Beach CA
10/29/2015

Division 7 Waterproofing Consultants inspected the deck off the living room on the front of 1999 Anywhere Dr in Pismo Beach CA. This inspection was a visual inspection only. No water/leak testing was performed. The tiled covered deck and the contiguous building materials adjacent were visually inspected for indications of deterioration. This inspection is limited in scope and did not include testing or inspection for mold, mildew, wood destroying organisms or pest infestations.

This report is the property of William Leys and is solely for the use of Mr & Mrs Potential Homebuyer.

The inspection took place on Wednesday October 28th at 2:00 pm. In attendance was this inspector sellers agent, the seller and the owner.

The subject deck is a Mexican tile covered deck, apx 4' wide by 14'. It has a iron railing on three sides, the deck is accessed by a sliding door.

My inspection found the following adverse conditions-

Door/Threshold/Walls



Door threshold is lower than
Tile surface, preventing
Water from draining properly
This is left side of door.

There is a gap between the door and the tile, water may seep under tile as



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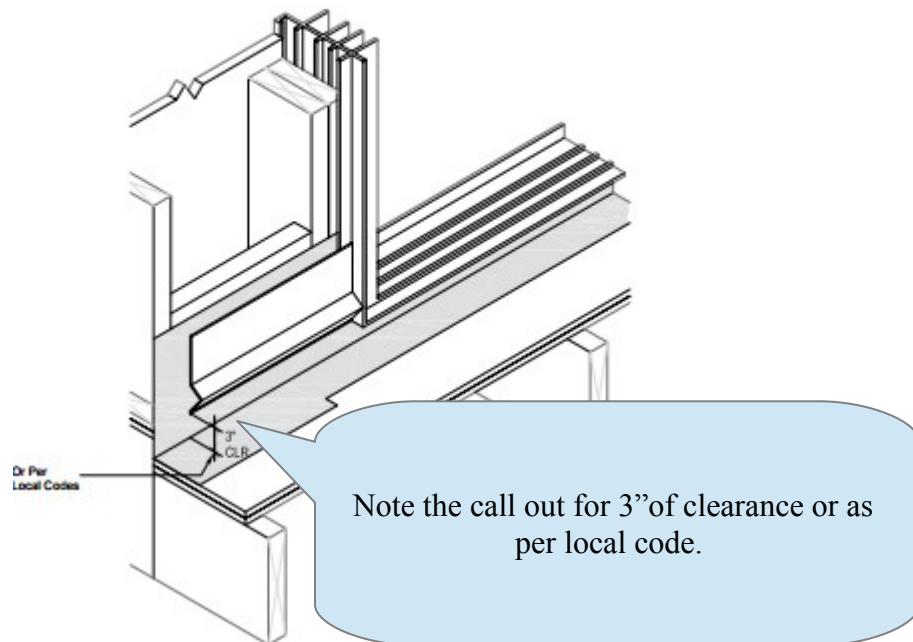
threshold is lower than tile. Thresholds should be a minimum of 1" above the deck in accordance with building code.



Door threshold remains below height of tile, preventing water from draining.

Sample Detail of Deck To Wall Waterproofing and Stucco Assembly

DECK FLASHING
TWO-PIECE FLASHING
WALL TO DOORWALL

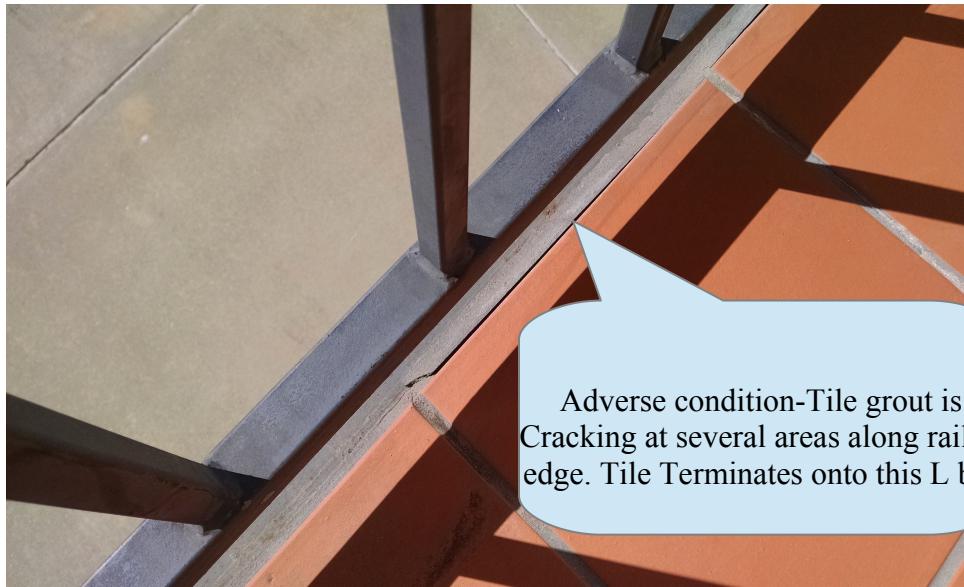


SAMPLE DETAILS ARE FOR CLARIFICATION ONLY AND ARE NOT SPECIFICATIONS!

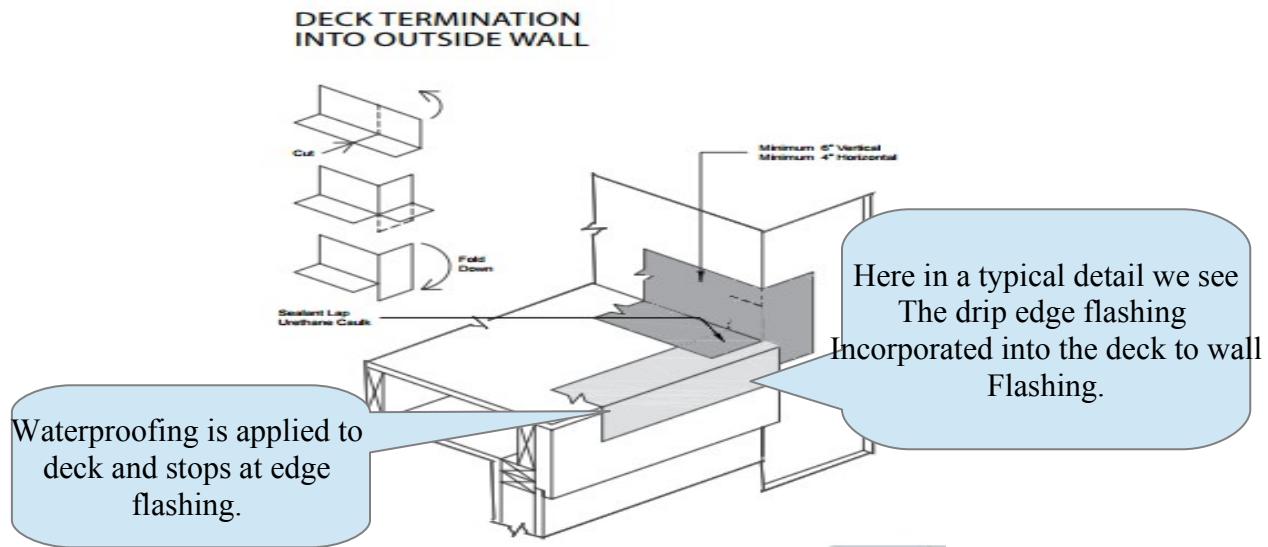


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Railing/Edge



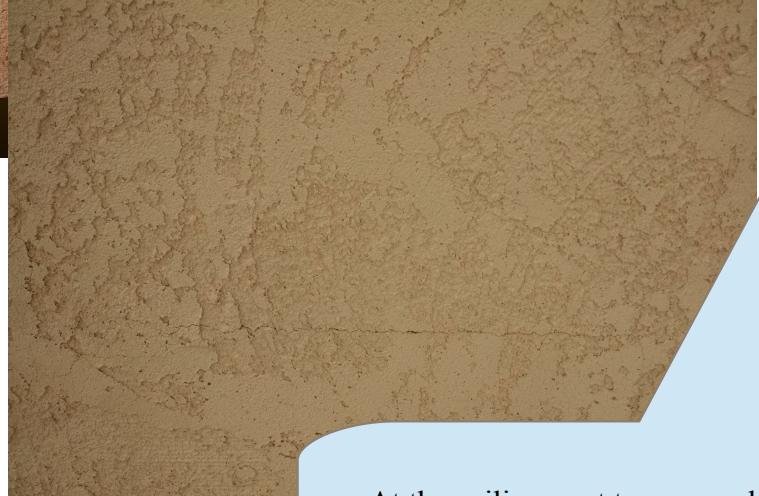
The termination of the tile onto part of the railing system is unusual. Typical construction of a deck has the tile and waterproofing system terminating to galvanized flashing that is not part of a railing. See drawing below.



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At the ceiling next to garage doors
There are numerous cracks in the stucco.
Some staining is evident from water.



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Water may be leaking in from door threshold area directly above. Removal of buckled drywall will provide access to inspect wood behind.

SEE NEXT PAGE



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As noted above, the edge termination of this deck is highly unusual and not in keeping with standard industry design. Waterproofing/tile assemblies are typically terminated to a 26 gauge drip edge flashing. In this case, the tile terminates out onto the L bar piece of the railing. In several areas there is rust and degradation on the L bar. No waterproofing was visible at any areas inspected.

My second concern is the deck to wall areas where no weep screed/standard termination of the stucco is visible. While older buildings sometimes did not have weep screed, homes of this age generally do. The sliding door threshold is also lower than the tile is especially at each corner. Water may pool in the threshold and leak in.

Estimated Costs to Repair Adverse Conditions-

The adverse conditions described above need to be repaired to ensure that water does not intrude into the interior framing of the deck and home. Because the railing is part of the tiled deck, extensive work may be needed to correct that condition. The door assembly will probably need to be removed and the framing raised to lift the door above the deck height. Both of these actions would disturb the tile work. Because the deck is small, I would recommend that any remedial work include the entire deck to ensure that it is all uniform and ensure it watertightness. Please refer to a licensed decking contractor for bid(s) to repair the adverse conditions found. **END OF REPORT**

William Leys
Inspector