



**WILLIAM LEYS DBA**  
**DIVISION 7 WATERPROOFING CONSULTANTS**  
**PO Box 14438 SLO CA 93406 Tel. 805-801-2380**  
**INSPECTIONS/CONSULTING/EXPERT WITNESS**

**Real Estate Inspection Report on Front Deck**  
**1999 Anywhere Dr Pismo Beach CA**  
**10/29/2015**

Division 7 Waterproofing Consultants inspected the deck off the living room on the front of 1999 Anywhere Dr in Pismo Beach CA. This inspection was a visual inspection only. No water/leak testing was performed. The tiled covered deck and the contiguous building materials adjacent were visually inspected for indications of deterioration. This inspection is limited in scope and did not include testing or inspection for mold, mildew, wood destroying organisms or pest infestations.

This report is the property of William Leys and is solely for the use of Mr & Mrs Potential Homebuyer.

The inspection took place on Wednesday October 28<sup>th</sup> at 2:00 pm. In attendance was this inspector sellers agent, the seller and the owner.

The subject deck is a Mexican tile covered deck, apx 4' wide by 14'. It has a iron railing on three sides, the deck is accessed by a sliding door.

My inspection found the following adverse conditions-

**Door/Threshold/Walls**



There is a gap between the door and the tile, water may seep under tile as



**WILLIAM LEYS DBA**  
**DIVISION 7 WATERPROOFING CONSULTANTS**  
**PO Box 14438 SLO CA 93406 Tel. 805-801-2380**  
**INSPECTIONS/CONSULTING/EXPERT WITNESS**

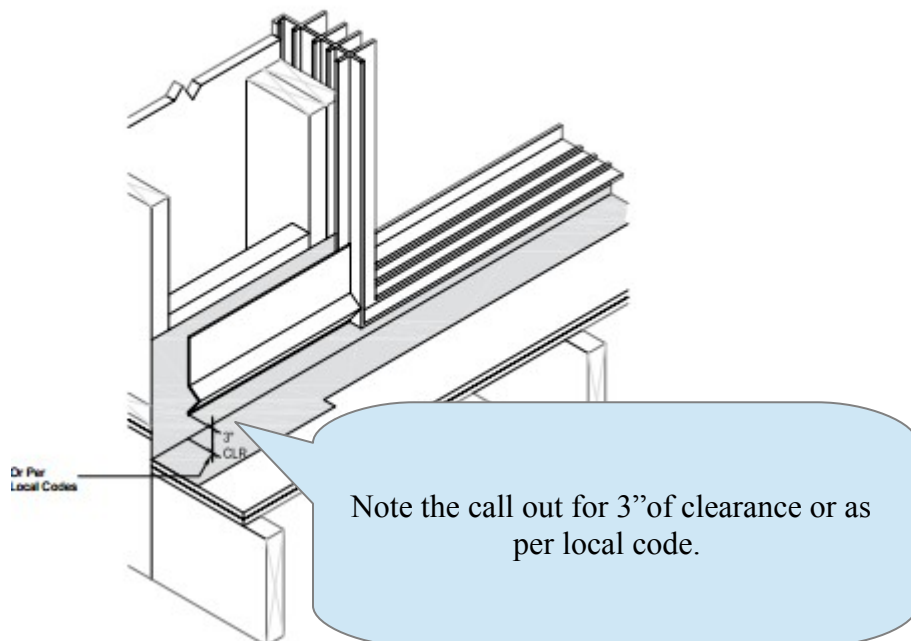
threshold is lower than tile. Thresholds should be a minimum of 1" above the deck in accordance with building code.



Door threshold remains below height of tile, preventing water from draining.

Sample Detail of Deck To Wall Waterproofing and Stucco Assembly

DECK FLASHING  
TWO-PIECE FLASHING  
WALL TO DOORWALL

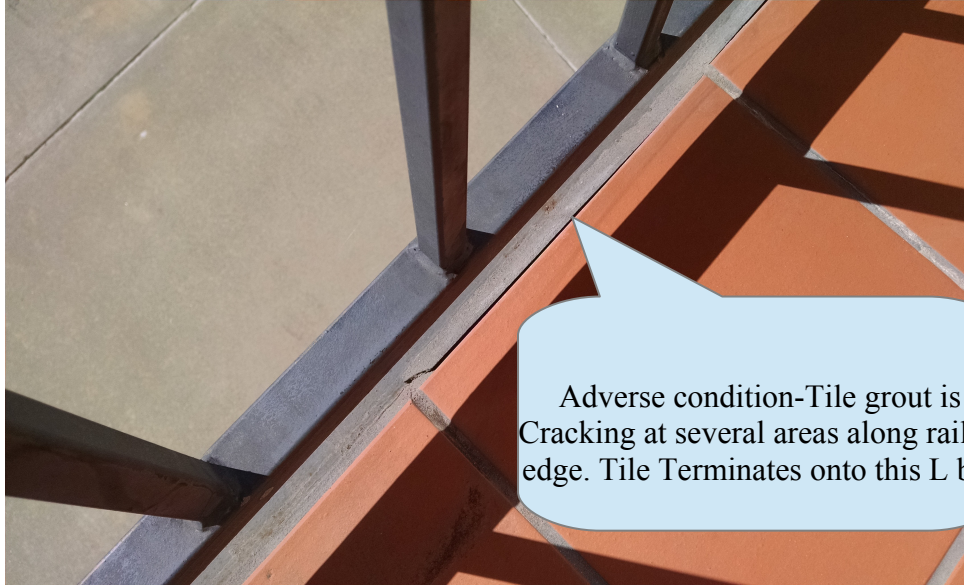


**SAMPLE DETAILS ARE FOR CLARIFICATION ONLY AND ARE NOT SPECIFICATIONS!**



**WILLIAM LEYS DBA**  
**DIVISION 7 WATERPROOFING CONSULTANTS**  
**PO Box 14438 SLO CA 93406 Tel. 805-801-2380**  
**INSPECTIONS/CONSULTING/EXPERT WITNESS**

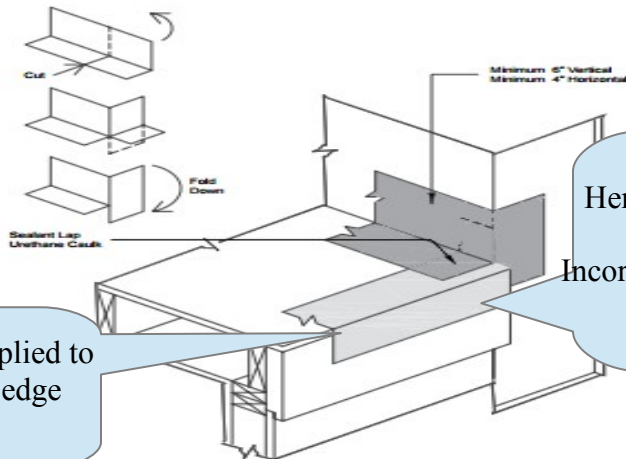
### **Railing/Edge**



Adverse condition-Tile grout is Cracking at several areas along railing edge. Tile Terminates onto this L bar.

The termination of the tile onto part of the railing system is unusual. Typical construction of a deck has the tile and waterproofing system terminating to galvanized flashing that is not part of a railing. See drawing below.

#### **DECK TERMINATION INTO OUTSIDE WALL**



Waterproofing is applied to deck and stops at edge flashing.

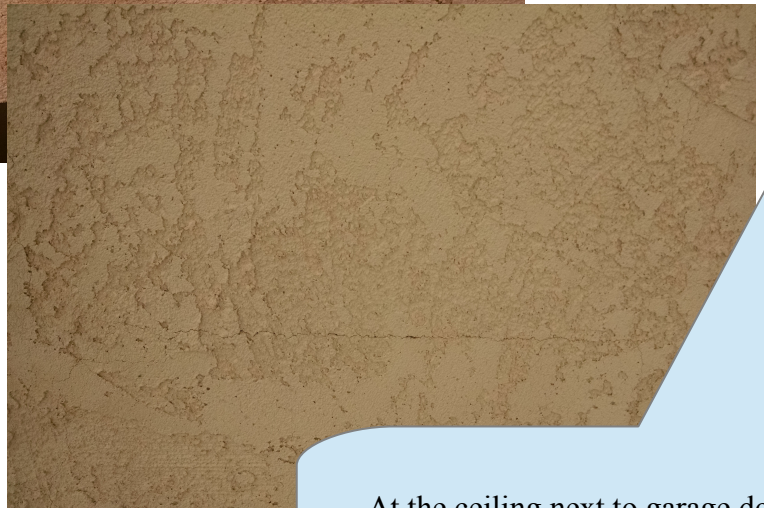
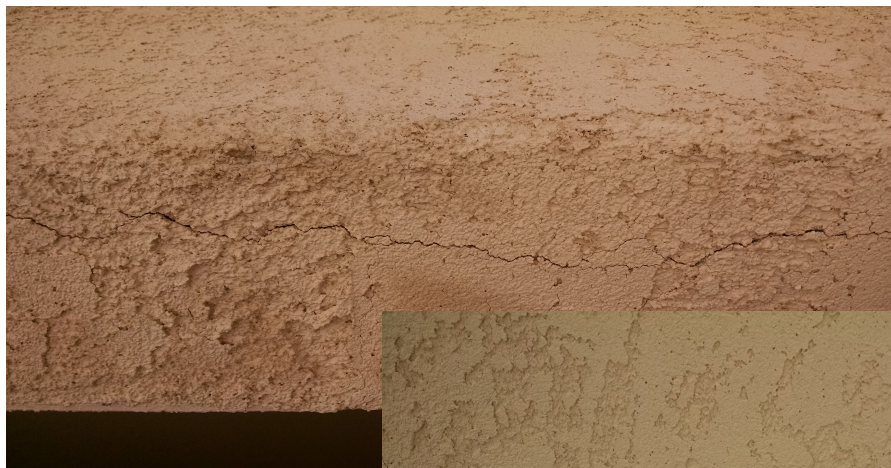
Here in a typical detail we see The drip edge flashing Incorporated into the deck to wall Flashing.

**SAMPLE DETAILS ARE FOR CLARIFICATION ONLY AND ARE NOT SPECIFICATIONS!**





**WILLIAM LEYS DBA**  
**DIVISION 7 WATERPROOFING CONSULTANTS**  
**PO Box 14438 SLO CA 93406 Tel. 805-801-2380**  
**INSPECTIONS/CONSULTING/EXPERT WITNESS**



At the ceiling next to garage doors  
There are numerous cracks in the stucco.  
Some staining is evident from water.







**WILLIAM LEYS DBA**  
**DIVISION 7 WATERPROOFING CONSULTANTS**  
**PO Box 14438 SLO CA 93406 Tel. 805-801-2380**  
**INSPECTIONS/CONSULTING/EXPERT WITNESS**

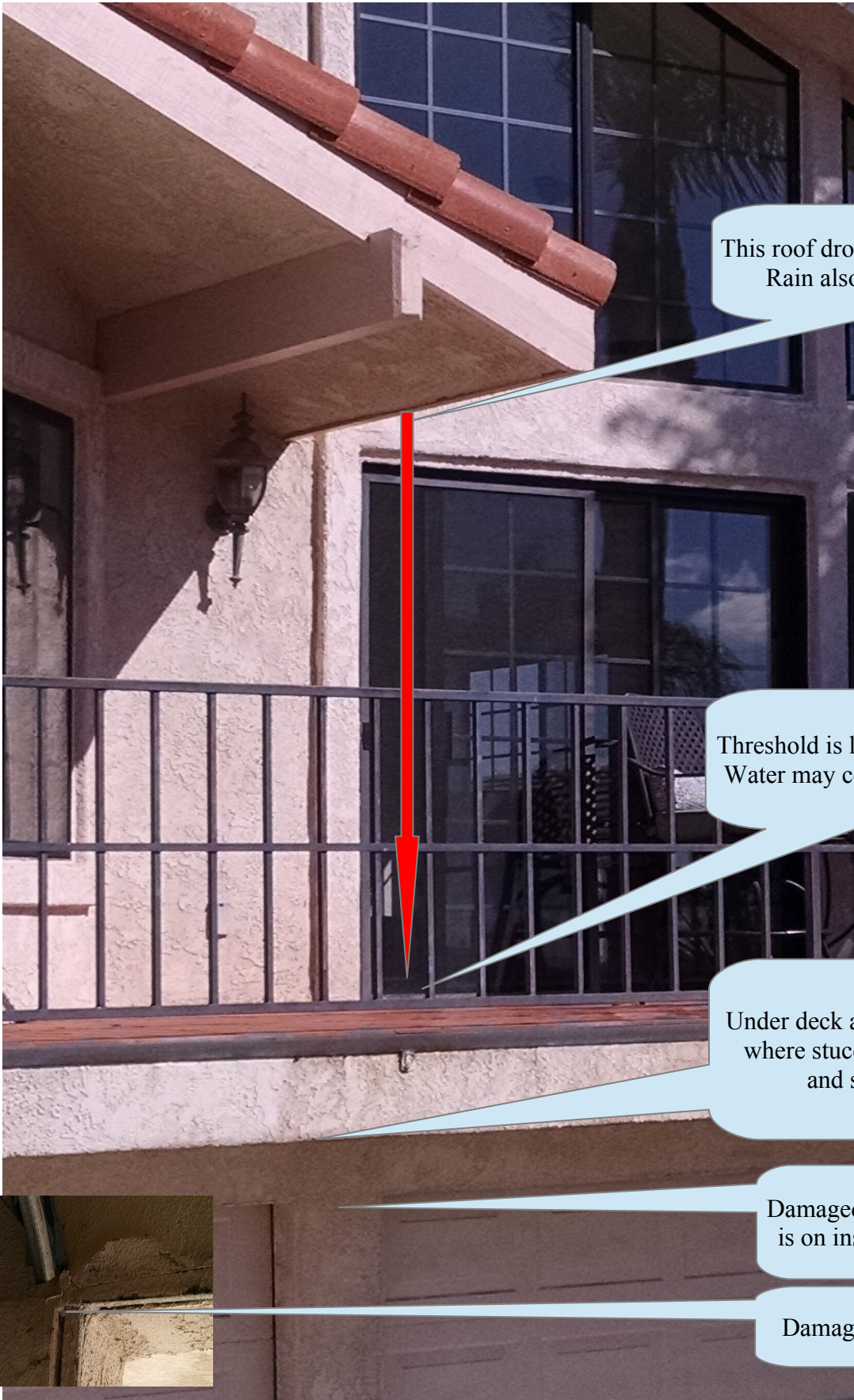


Water may be leaking in from door threshold area directly above. Removal of buckled drywall will provide access to inspect wood behind.

SEE NEXT PAGE



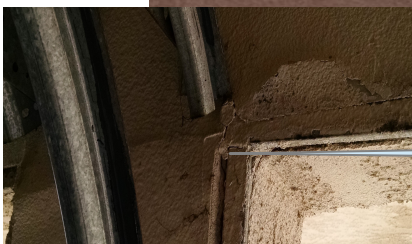
**WILLIAM LEYS DBA**  
**DIVISION 7 WATERPROOFING CONSULTANTS**  
**PO Box 14438 SLO CA 93406 Tel. 805-801-2380**  
**INSPECTIONS/CONSULTING/EXPERT WITNESS**



This roof drops water down here.  
Rain also lands on deck.

Threshold is lower than tile deck.  
Water may collect in threshold.

Under deck and at doors is  
where stucco is cracked  
and stained



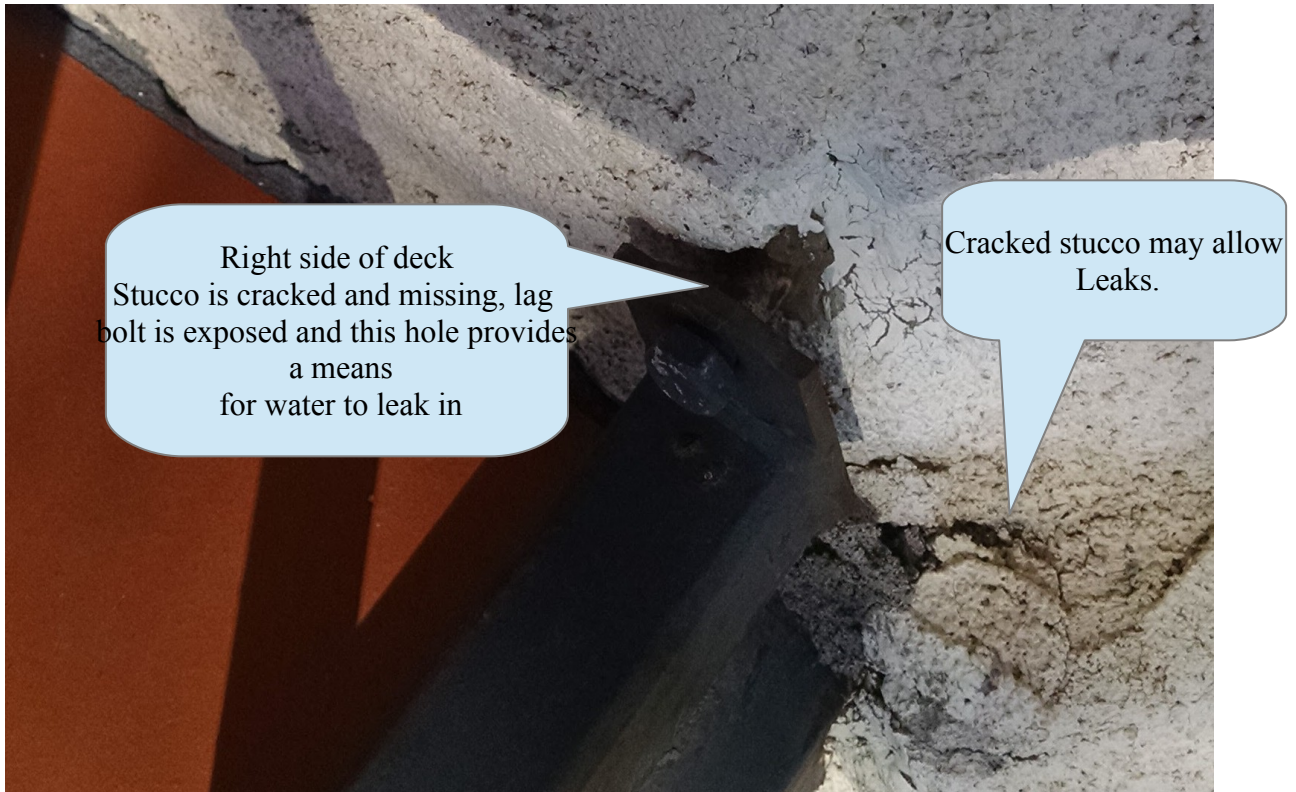
Damaged drywall  
is on inside wall

Damaged drywall.





**WILLIAM LEYS DBA**  
**DIVISION 7 WATERPROOFING CONSULTANTS**  
**PO Box 14438 SLO CA 93406 Tel. 805-801-2380**  
**INSPECTIONS/CONSULTING/EXPERT WITNESS**



As noted above, the edge termination of this deck is highly unusual and not in keeping with standard industry design. Waterproofing/tile assemblies are typically terminated to a 26 gauge drip edge flashing. In this case, the tile terminates out onto the L bar piece of the railing. In several areas there is rust and degradation on the L bar. No waterproofing was visible at any areas inspected.

My second concern is the deck to wall areas where no weep screed/standard termination of the stucco is visible. While older buildings sometimes did not have weep screed, homes of this age generally do. The sliding door threshold is also lower than the tile is especially at each corner. Water may pool in the threshold and leak in.

### **Estimated Costs to Repair Adverse Conditions-**

The adverse conditions described above need to be repaired to ensure that water does not intrude into the interior framing of the deck and home. Because the railing is part of the tiled deck, extensive work may be needed to correct that condition. The door assembly will probably need to be removed and the framing raised to lift the door above the deck height. Both of these actions would disturb the tile work. Because the deck is small, I would recommend that any remedial work include the entire deck to ensure that it is all uniform and ensure it watertightness. Please refer to a licensed decking contractor for bid(s) to repair the adverse conditions found. **END OF REPORT**

William Leys  
Inspector